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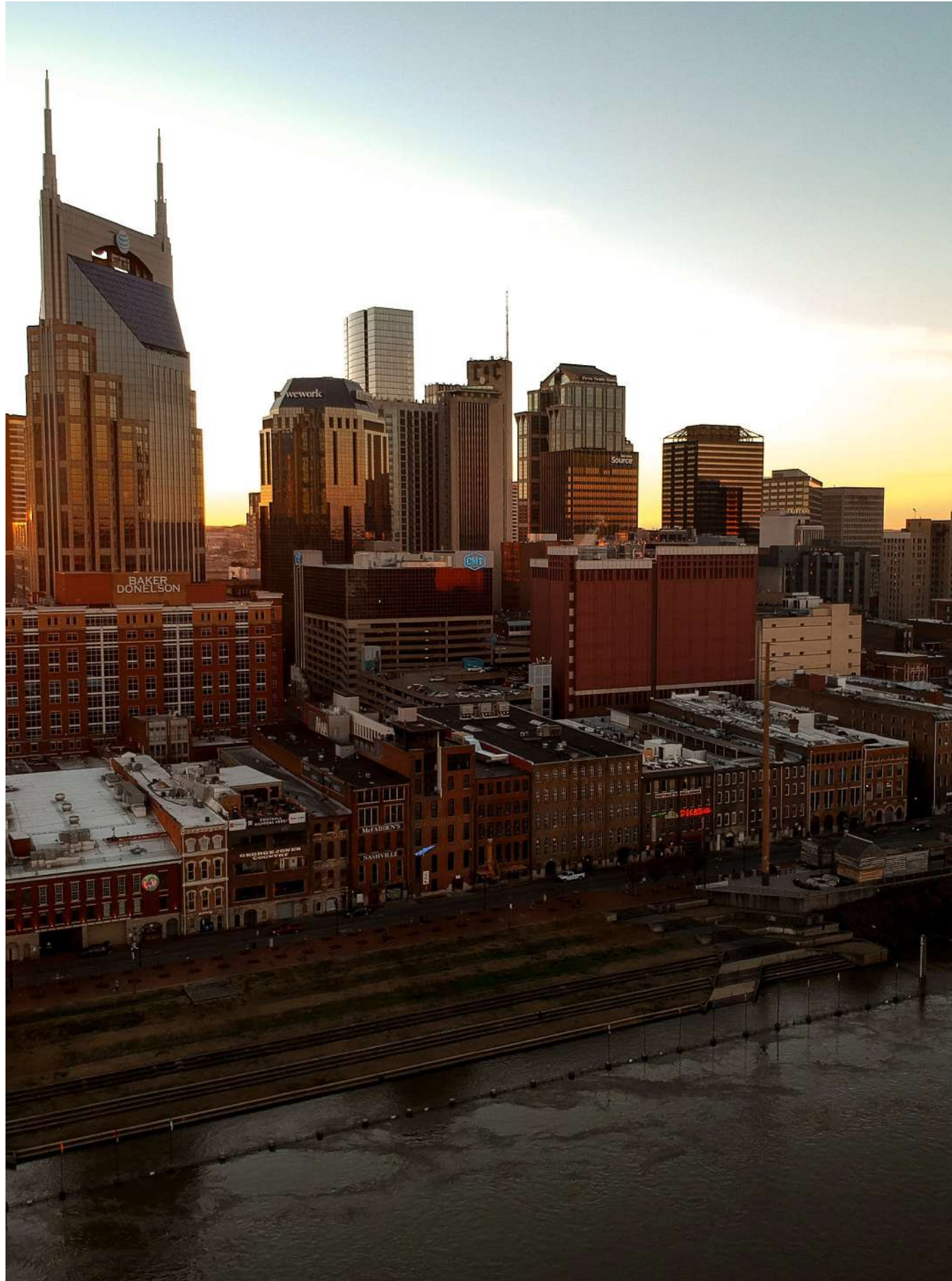
MICHELLE MALDONADO TEAM

MICHELLE MALDONADO TEAM
2021 ANNUAL MARKET REPORT

COMPASS RE

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IT WAS THE YEAR OF LIFT OFF

The most common question my clients, friends, and family ask is "How is the market?" Real estate is a multi-faceted center point in our lives...It is both our home and our investment and in that, our understanding of the market is both emotionally and financially important.

Whether we spoke yesterday or when we closed on your last home, know that you, your investment, and how you enjoy your home are central to what I do. To that end, I hope I provide in these pages a more thorough explanation of the market and your investment in it.

These pages will not answer all of your questions, so it would be great to connect. There is no question too small - from "What is my actual home value in today's market?" to "Should I buy an investment property right now?" to "Where would I go if I sell?" any question is on the table and I would love to hear from you. So...shoot me a text, call, or email - I will reach out to you as well. I look forward to working with you in 2022 and beyond.

If 2020 was the year when the whole world tapped the breaks and reached for the reset button, 2021 was the year when Nashville showed the world how to hit the accelerator. Nashville bounced back in 2021 with a passion and energy that locals have come to see as the norm for our beautiful city.

Nashville's housing market soared in 2021. With 81 people moving to Nashville every day, 2021 saw an unprecedented increase in competition for Nashville's coveted homes. Compared to 2020, the average number of days a Nashville home spent on the market dropped 14%, down to just 48 days. At the same time, prices were up over 2020, a 16% increase that put the median price for a home at \$337,000.

They say Nashville is the "Beating Heart of the American South." But if she is the heart, she is also its lungs, because Nashville breathed new life into the South, new excitement for this region, and a powerful desire for Americans from all walks of life to move here and experience the joy that comes from a life well-lived in the sunshine and ever-present lyrical medley of Music City.

Here's what happened in our favorite Nashville neighborhoods in 2021...

Best,
Michelle Maldonado + Amanda Gleaton

GREATER NASHVILLE
INSIGHTS

71,774

2021 New Listings

-8.10%

% Change from 2020

47,002

2021 Sales

-19.97%

% Change from 2020

\$337K

2021 Median Sale Price

15.95%

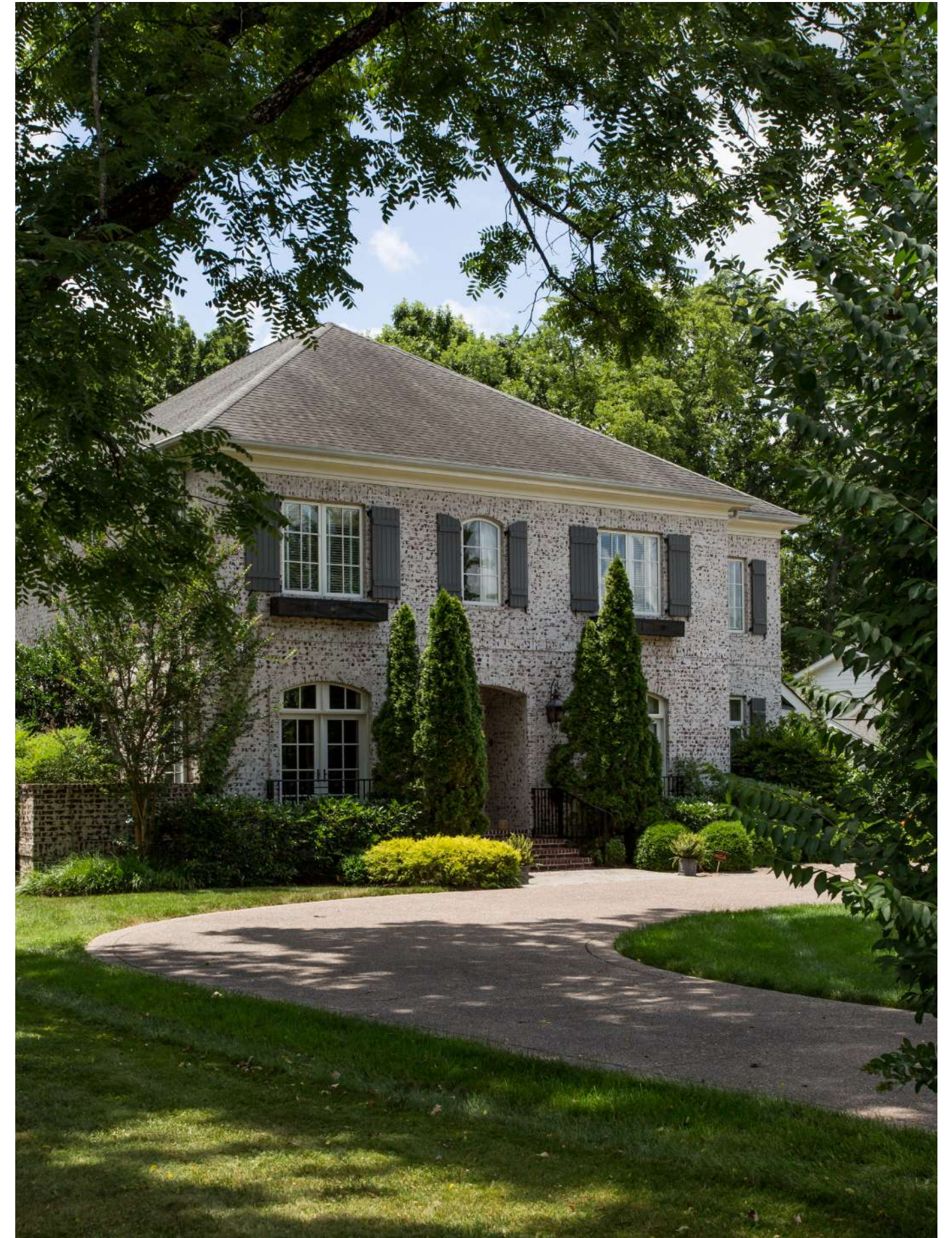
% Change from 2020

48

2021 Average Days on Market

-14.18%

% Change from 2020



NASHVILLE
NEIGHBORHOODS

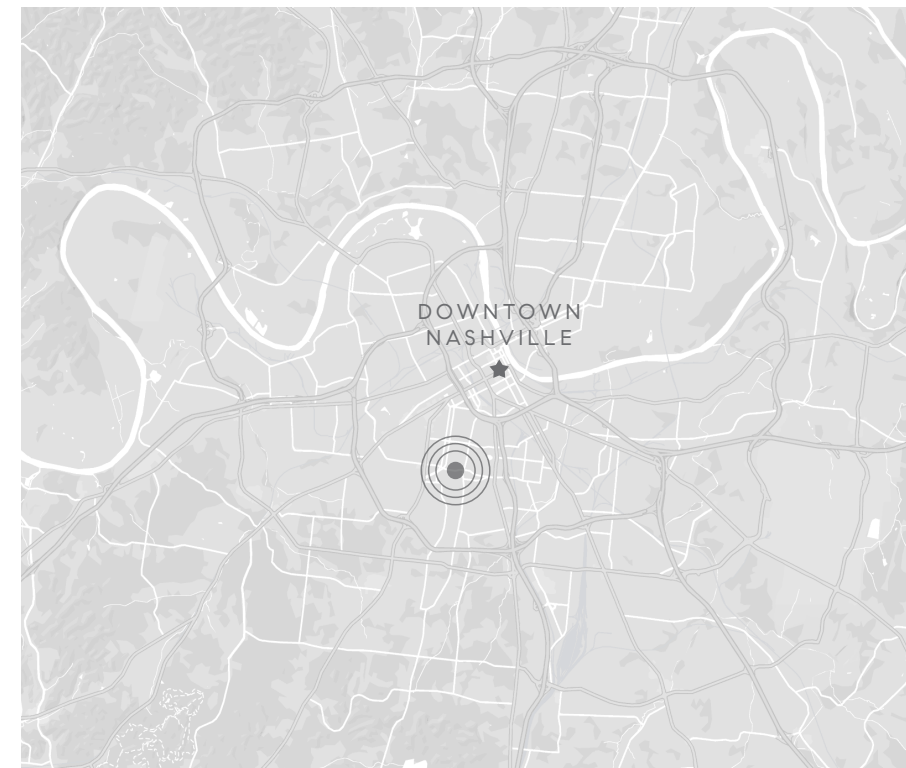




GREEN HILLS / FOREST HILLS

Living in Green Hills/Forest Hills feels like stepping into a fairytale arbor setting. Though the neighborhood is close to luxury shopping districts, high-end retailers, famous restaurants, and excellent schools, this region's mature trees have been preserved and well-tended, offering a coveted setting of forested, private living right in the heart of Music City. Large, historic, and stunning inside and out, Green Hills/Forest Hills homes are highly sought after and prized among Nashville locals and visitors alike.

Demand was higher than ever in Green Hills/Forest Hills, consistent throughout 2021. Average days-on-market came in at 61 days, a decrease of 8% over 2020. Meanwhile, the median price increased, up 13% and reaching \$894K.



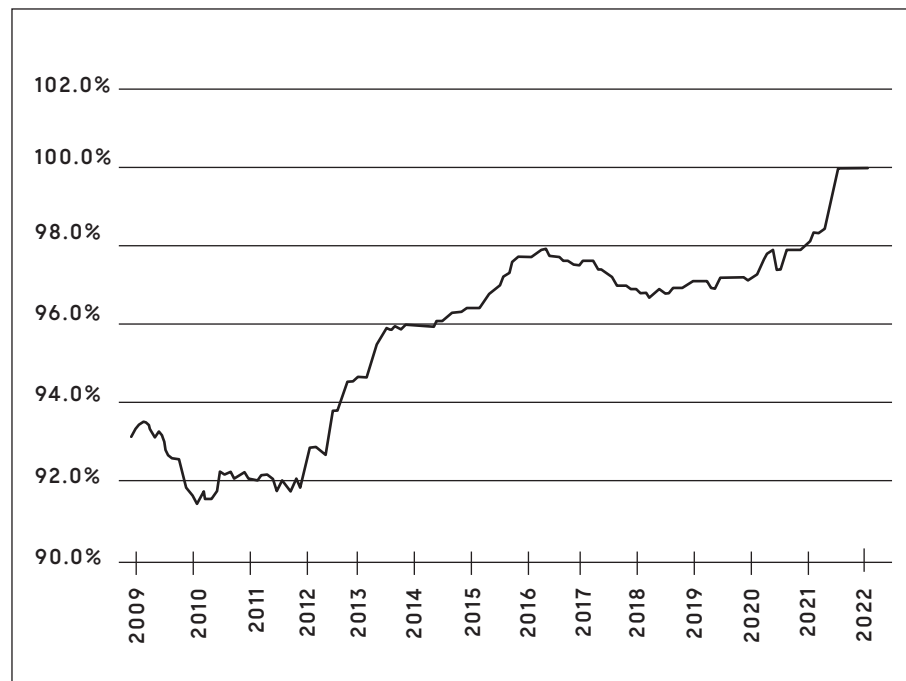
GREEN HILLS & FOREST HILLS
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



% OF LIST
PRICE 2021

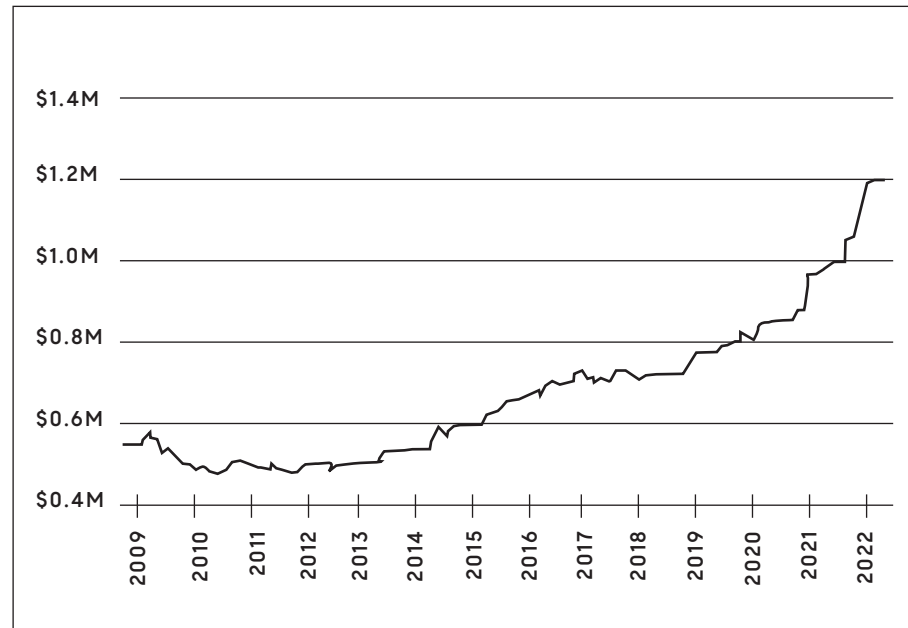
98%



GREEN HILLS/FOREST HILLS
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$894K



WHAT THE AVERAGE SALE
PRICE GOT YOU



4412 ESTES RD

LIST PRICE - \$899,900

SALE PRICE - \$899,900

3 BD | 2 BA | 2 HB | 3,156 SQ FT

DAYS ON MARKET: 0

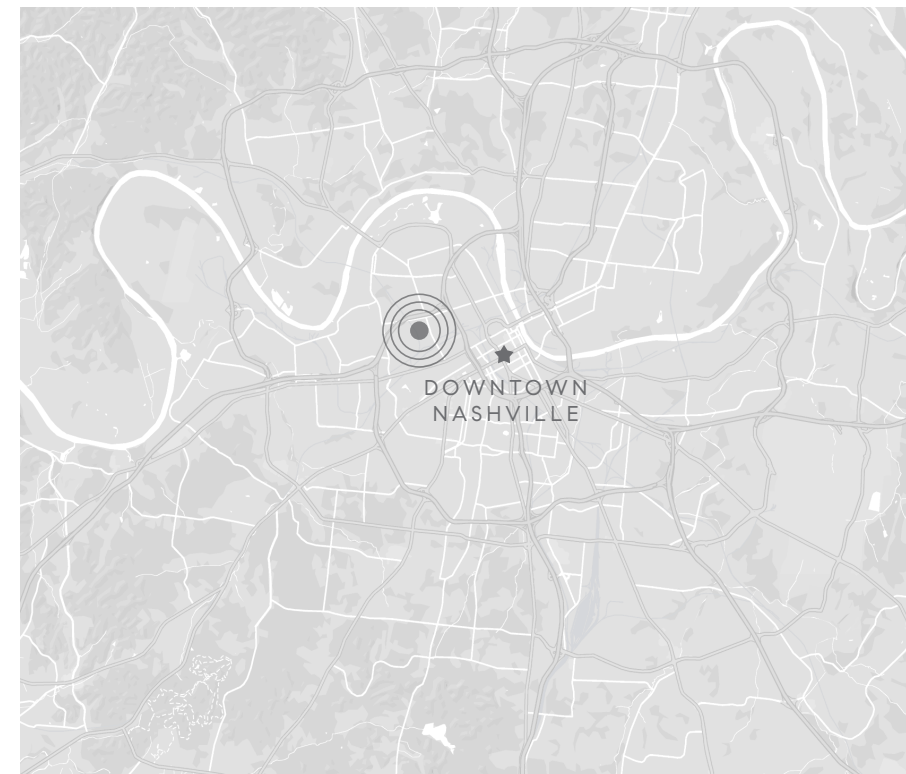
Private Updated Green Hills Home. Large Living Room With Fireplace, Dining Room With Butler Pantry, Spacious Kitchen Adjoins Family Room And Breakfast Room And Opens To Deck. Primary Suite On Main Level With Walk-in Closet. 2 Bedrooms Up With Full Bath. Terrace Level Rec Room With Fireplace. Oversized 2 Car Garage (3 Tandem). Fenced Dog Area, Plenty Of Guest Parking.



THE NATIONS / SYLVAN PARK

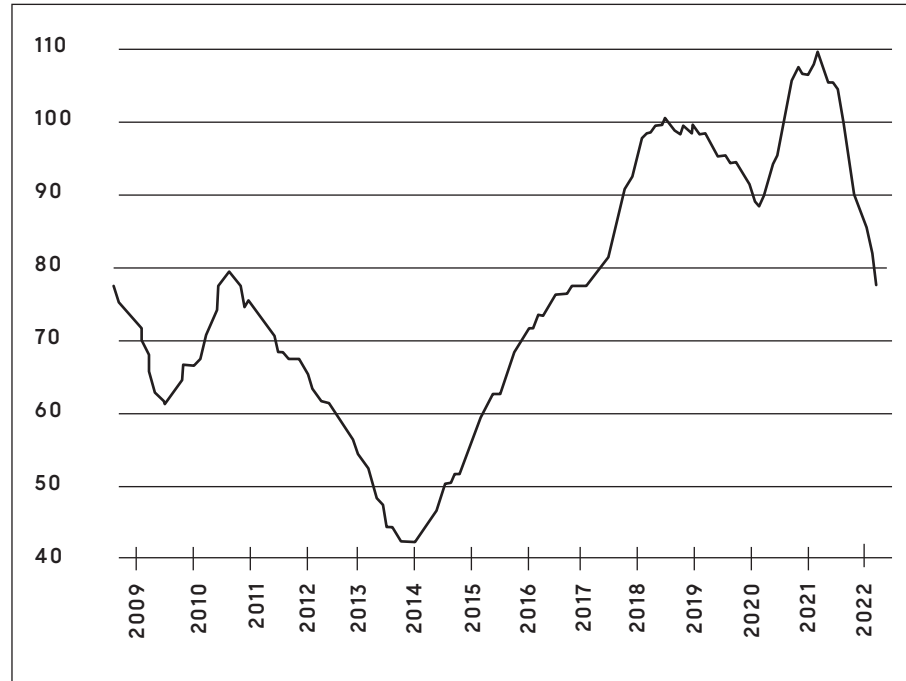
Thought to be two of Nashville's up-and-coming neighborhoods, The Nations and Sylvan Park have experienced some of the most well-planned, strategic growth the city has ever known. Entire streets of historic residences are experiencing renovations and restorations to blend their historic architecture and design with modern amenities and comforts. The community is also ideally positioned near prominent thoroughfares that feature great restaurants, large green spaces, historic buildings, and several direct lanes of travel into Nashville.

Competition for homes is high in The Nations/Sylvan Park, with 2021 bringing a median price increase of 24% (\$517K). Average days-on-market is down too, a 9% decrease to 63 days.

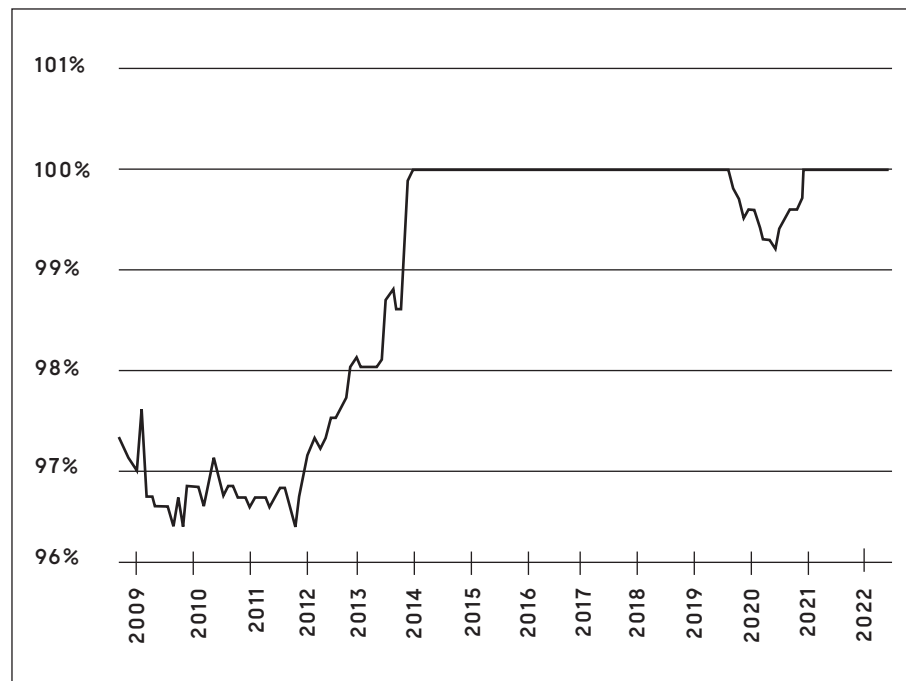


THE NATIONS/SYLVAN PARK
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



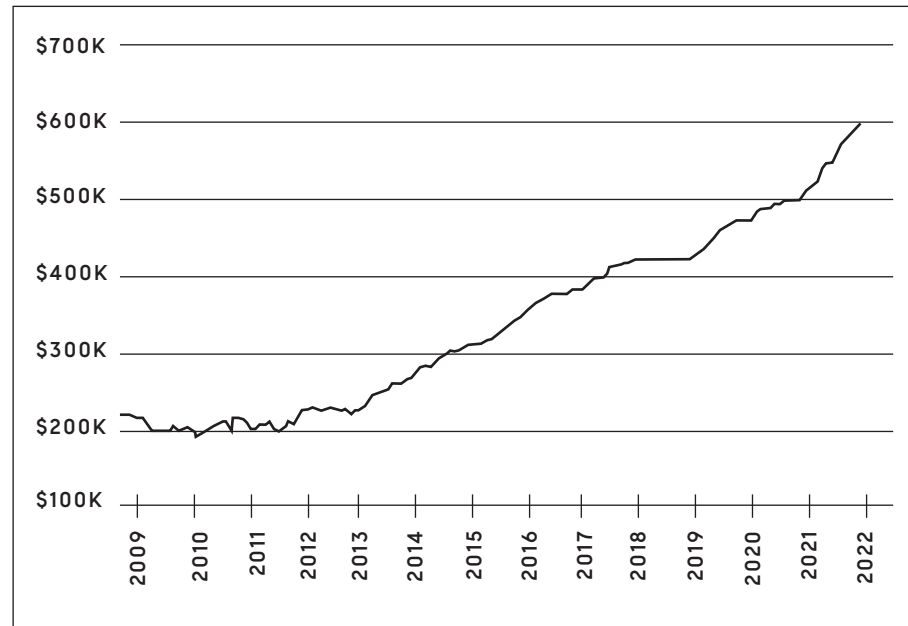
% OF
LIST PRICE
100%



THE NATIONS/SYLVAN PARK
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$517K



WHAT THE AVERAGE SALE
PRICE GOT YOU



1207 49TH AVE N

LIST PRICE - \$519,900

SALE PRICE - \$525,000

3 BD | 3 BA | 1 HB | 1,782 SQ FT

DAYS ON MARKET: 5

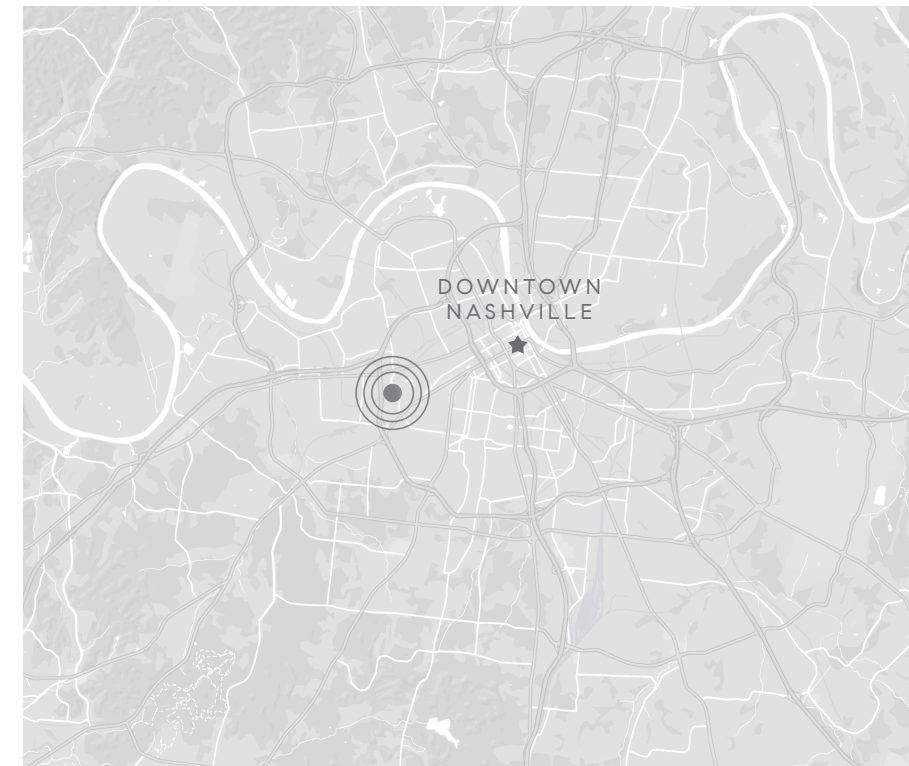
Adorable and spacious 3 bedroom home in the heart of The Nations! You cannot beat this location. Enjoy an oversized kitchen island, great for entertaining. Downstairs bedroom with ensuite bath, large master bedroom and guest bedroom upstairs + large back deck overlooking common space! The home is freshly painted with a brand new refrigerator, quartz countertops, and plenty of storage. Walk or bike to restaurants, shopping, and entertainment!



BELLE MEADE

Known for nationally famous attractions like the Belle Meade Plantation, Cheekwood Estate & Gardens, and Percy Warner Park, Belle Meade is also known for its stunning homes. This neighborhood was developed within the former historic Belle Meade plantation territory. Hence, the suburban paradise features large lots, mature trees, quiet, winding streets, and a cozy, peaceful aura.

2021 saw a significant increase in median price for Belle Meade homes, with prices now up 16% over 2020 figures. A \$753K median price suggests demand is high in this area.



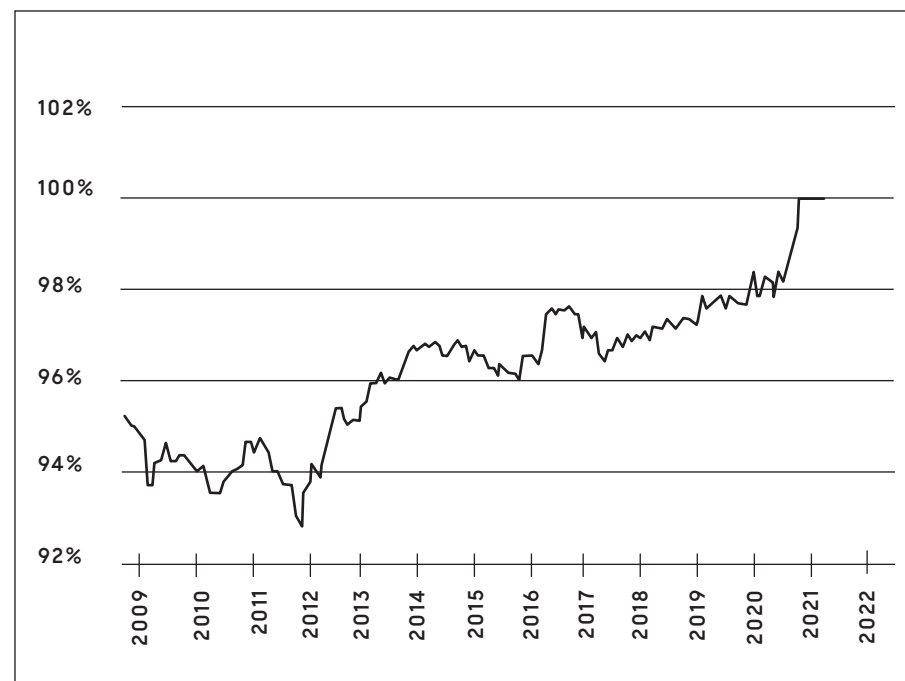
BELLE MEADE
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



% OF
LIST PRICE

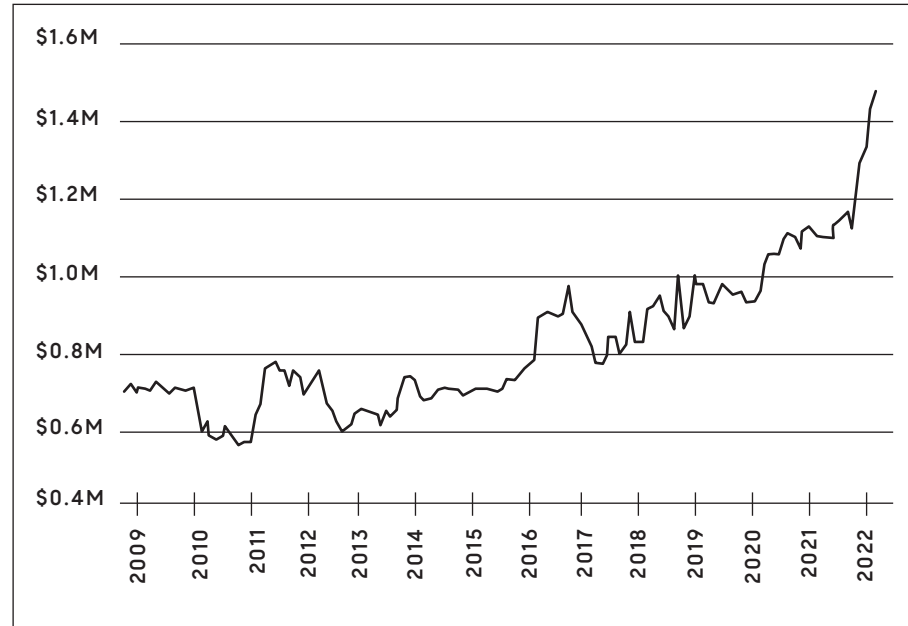
98%



BELLE MEADE
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$753K



WHAT THE AVERAGE SALE
PRICE GOT YOU



121 BELLEVUE DR S

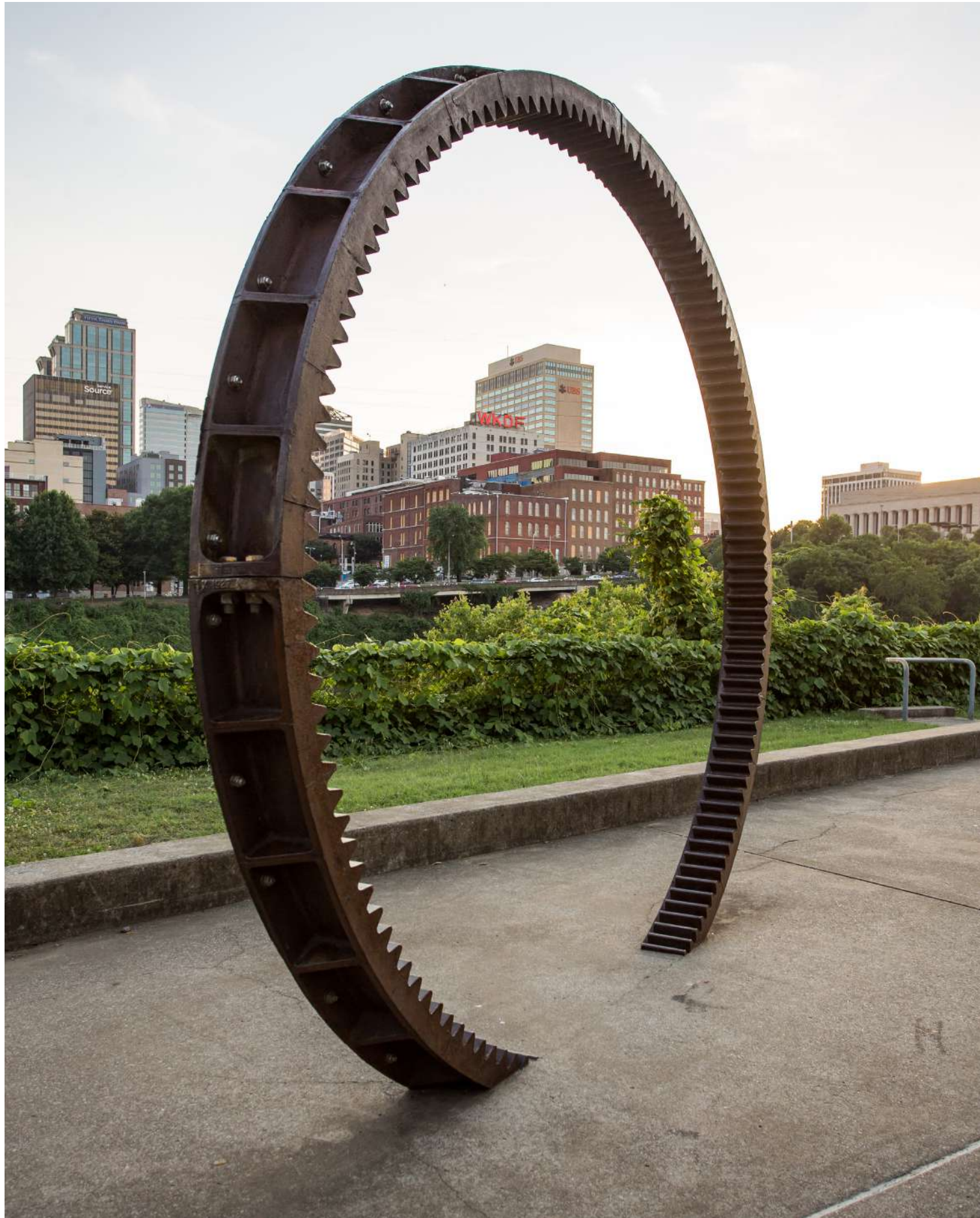
LIST PRICE - \$1,499,000

SALE PRICE - \$1,525,000

4 BD | 3 BA | 3,200 SQ FT

DAYS ON MARKET: 1

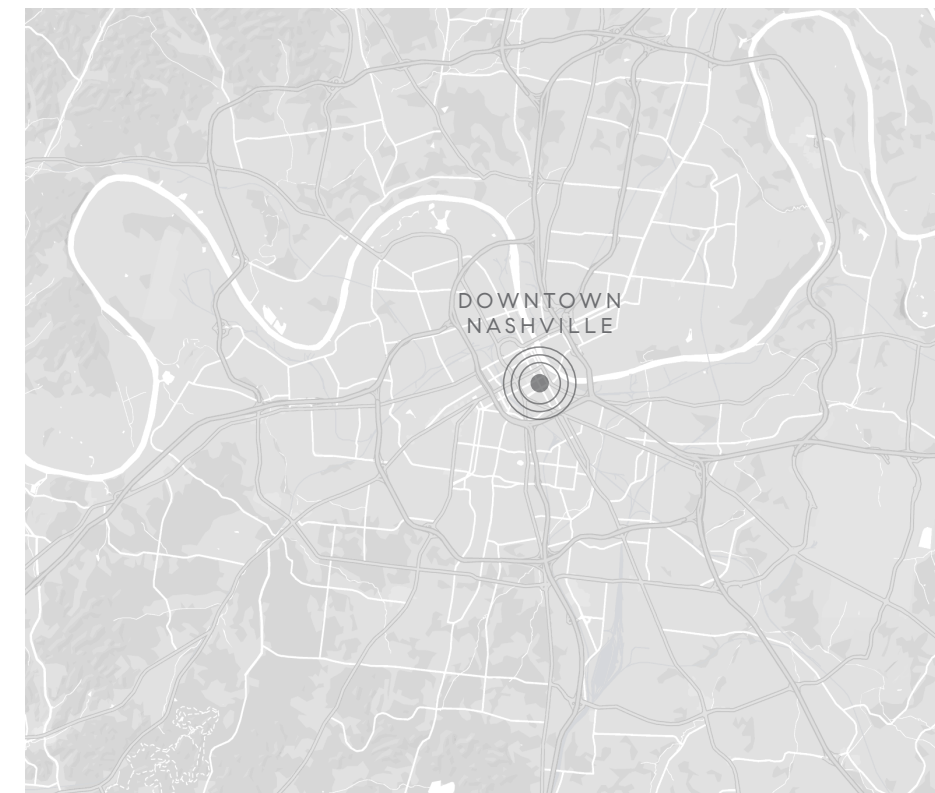
Classic Belle Meade home on a gorgeous corner lot. Home is being sold "As-Is." Interior of house not being shown. Walk to Parmer Park-perfect location to build your DREAM HOME!



DOWNTOWN/ THE GULCH

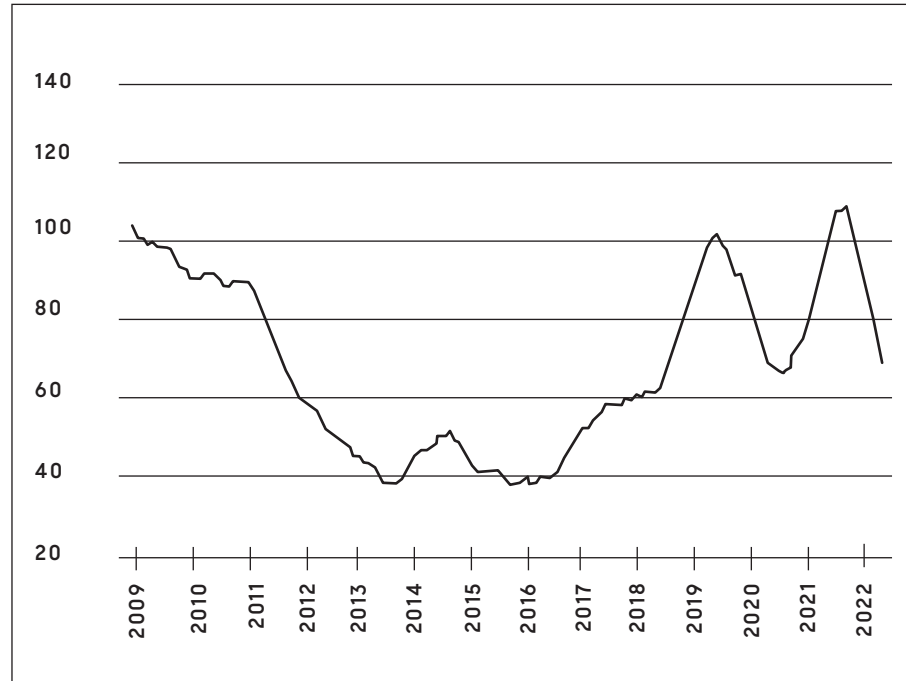
These neighborhoods are the gem of downtown Nashville. Home to major attractions like the Music City Center, Omni Hotel, The Southern, Etch, and Pinewood Social, here you will find urban living with all the best 21st-century amenities. And perhaps best of all, they are just a short walk from Broadway honky-tonks.

Downtown/The Gulch was one of the fastest-moving markets in 2021. New listings increased somewhat (15%), and sold listings skyrocketed (54%) while the median price increased to \$446K (a 3% increase). Growing demand in this market is also indicated by a drop of 13% in average days-on-market (now 64 days).



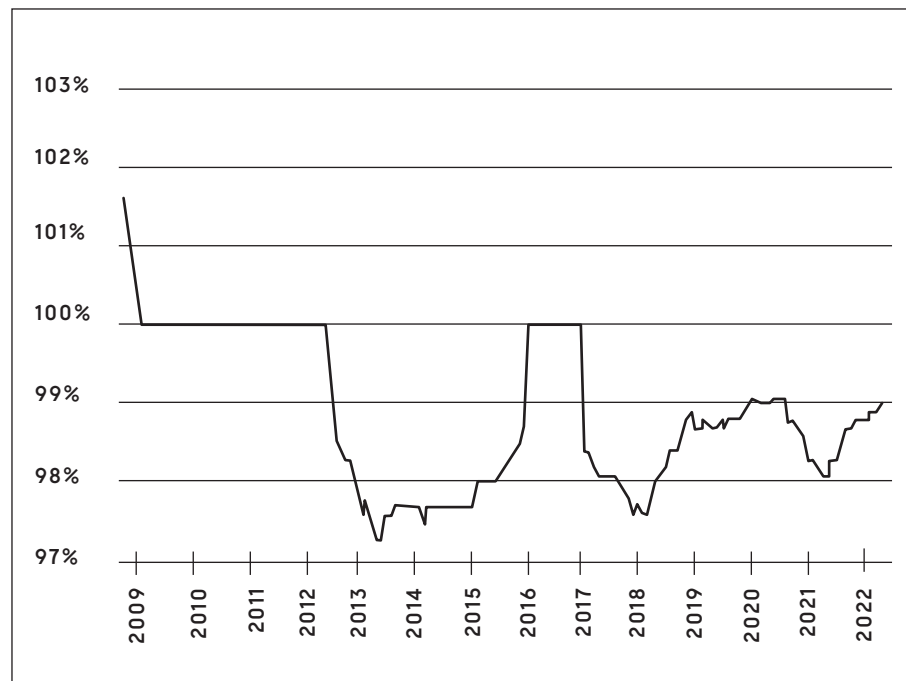
DOWNTOWN/THE GULCH
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



% OF LIST
PRICE 2021

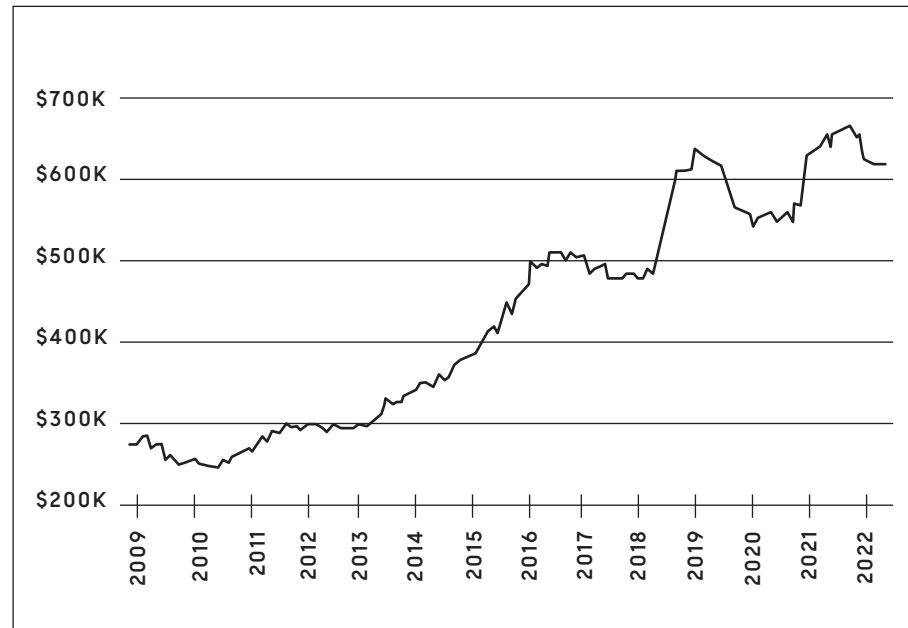
98%



DOWNTOWN/THE GULCH
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$446K



WHAT THE AVERAGE SALE
PRICE GOT YOU



1212 LAUREL ST #1110

LIST PRICE - \$465,000
SALE PRICE - \$445,000
1 BD | 1 BA | 703 SQ FT
DAYS ON MARKET: 11

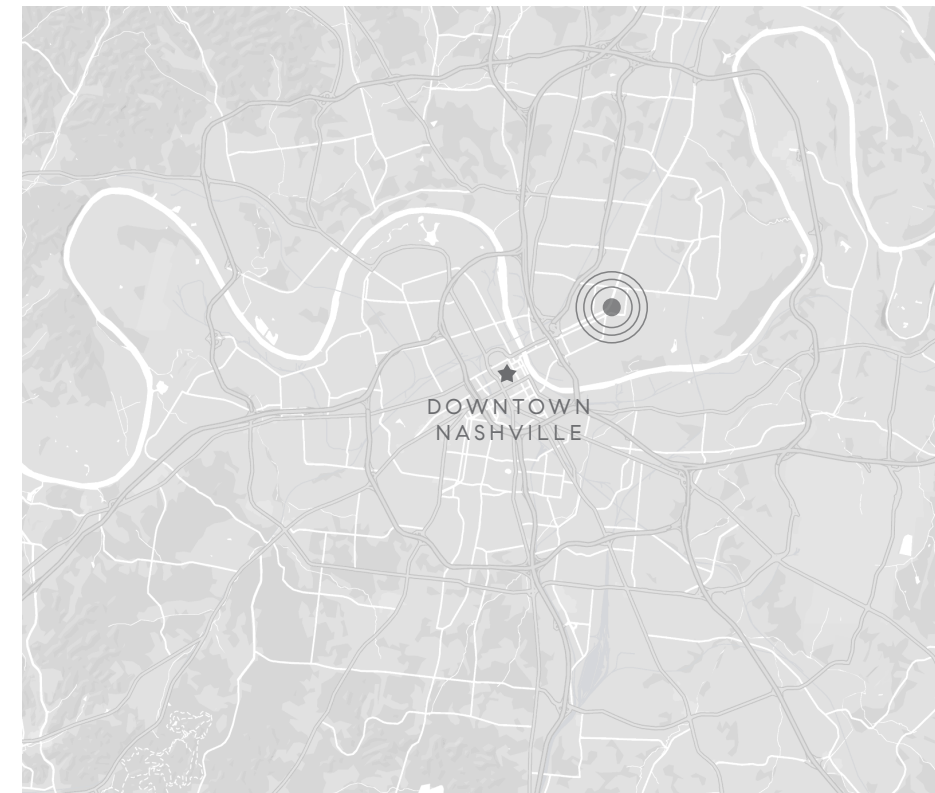
Secondary residence, very well maintained! 1 bedroom plan w/ brand new floors, window treatments, brand new HVAC, updated closet system w/ barn doors, Ecobee thermostat, and DOWNTOWN VIEWS! Storage unit 125 (5x5) and 1 assigned parking space! Incredible access to amenities and a safe building in the heart of The Gulch!



EAST NASHVILLE

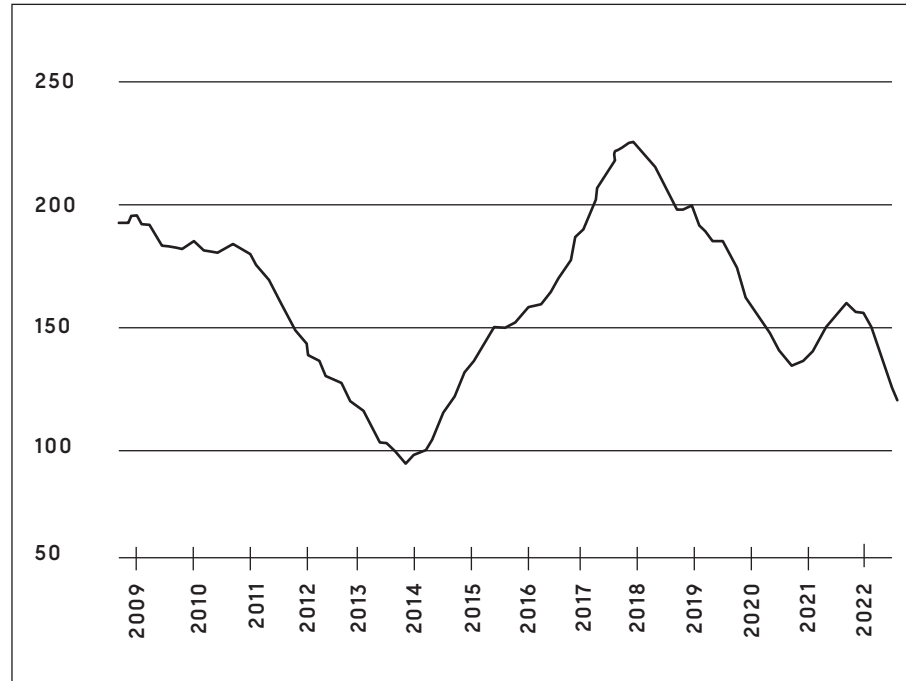
There aren't enough synonyms for "hip" to do East Nashville justice. One has to step into Nashville's bona fide "cool town" to understand why East Nashville earns 1st place for Middle Tennessee's most eclectic, artsy, historic, and chic neighborhood. Wonderful experiences abound on every corner, from tasty food to stunning murals, live music, expansive park spaces, historic homes, and modern new-builds.

Always a coveted neighborhood, it's no surprise East Nashville homes increased in price. The median price is now \$491K, up 21% from 2020.

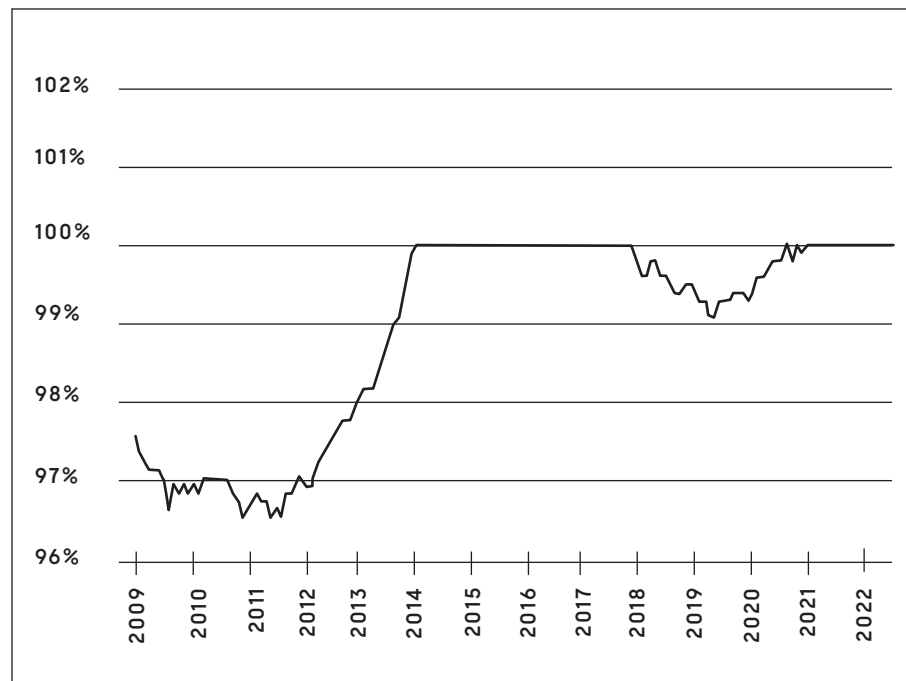


EAST NASHVILLE
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



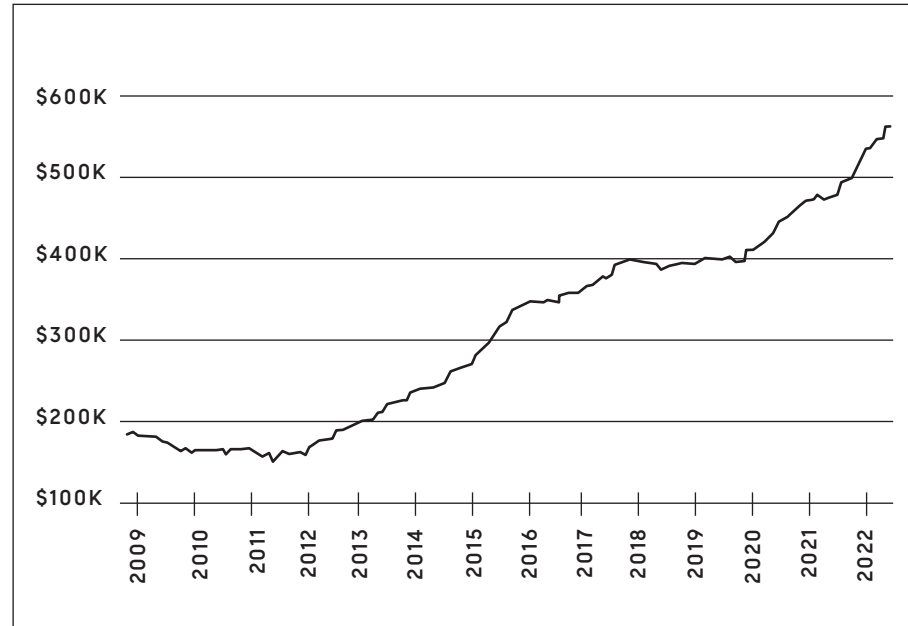
% OF LIST
PRICE 2021
100%



EAST NASHVILLE
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$491K



WHAT THE AVERAGE SALE
PRICE GOT YOU



946 RIVERSIDE DRIVE

LIST PRICE - \$489,900

SALE PRICE - \$495,000

3 BD | 2 BA | 1 HB | 2,000 SQ FT

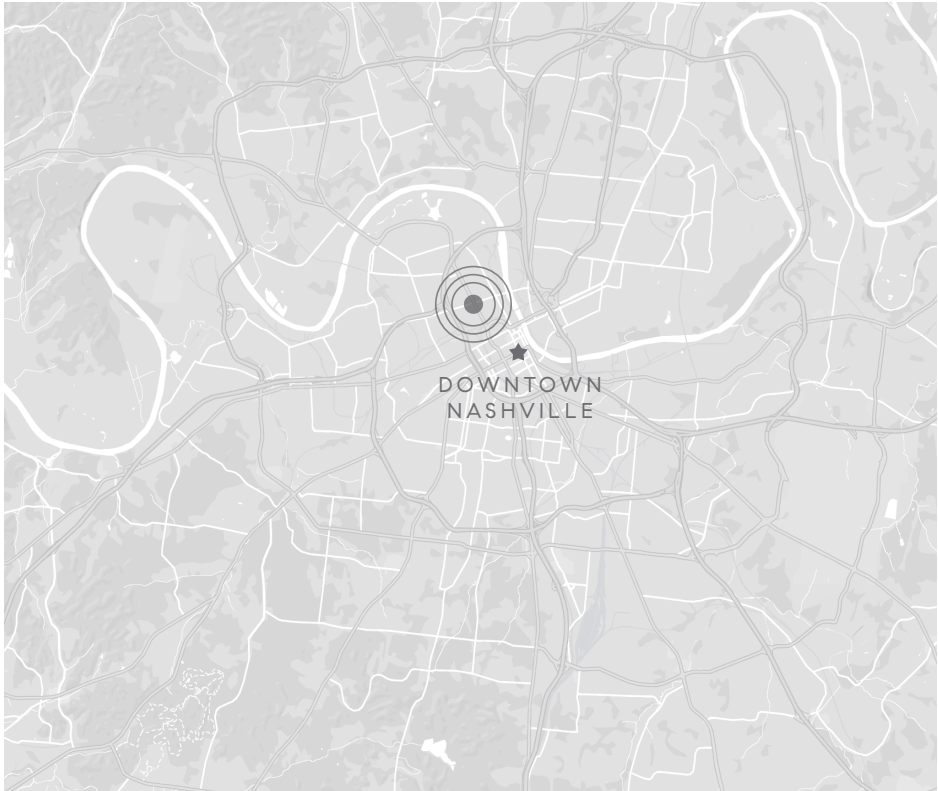
DAYS ON MARKET: 1

SOPHISTICATED MODERN CITY HOME: 2 blocks to the park! A truly sun-drenched home that features a chef's kitchen with huge entertaining island, fantastic master suite w/oversize shower, quartz counters, 4-inch plank hardwoods, designer fixtures & paint, shiplap accent wall, full tile surround bathtubs, foam insulated walls, and a 2 car garage. Unmatched in size and value, this home will impress.



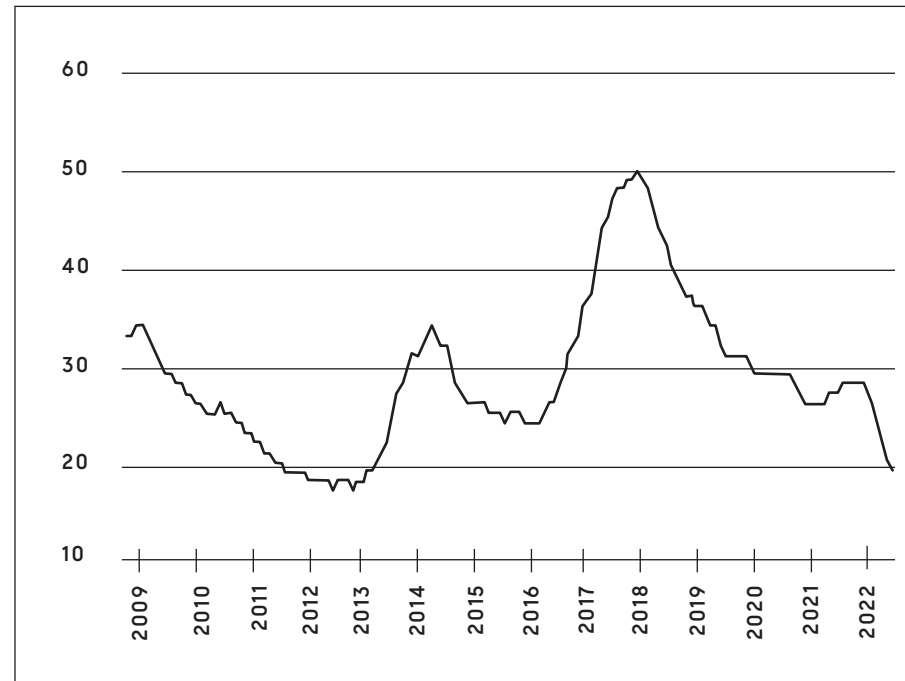
GERMANTOWN

Incorporated into the City of Nashville in 1865, Germantown maintains its iconic history in its restored buildings, centennial houses, and verdant parks, all while embracing a charming, chic-modern appeal in its shops, restaurants, and recreational centers. Much like other Nashville neighborhoods, Germantown is known for its strong sense of community, the solidarity of its residents, and the volunteer nature of locals. This sense of safety and togetherness is seen as highly desirable, particularly for new homeowners.



GERMANTOWN
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



% OF LIST
PRICE 2021

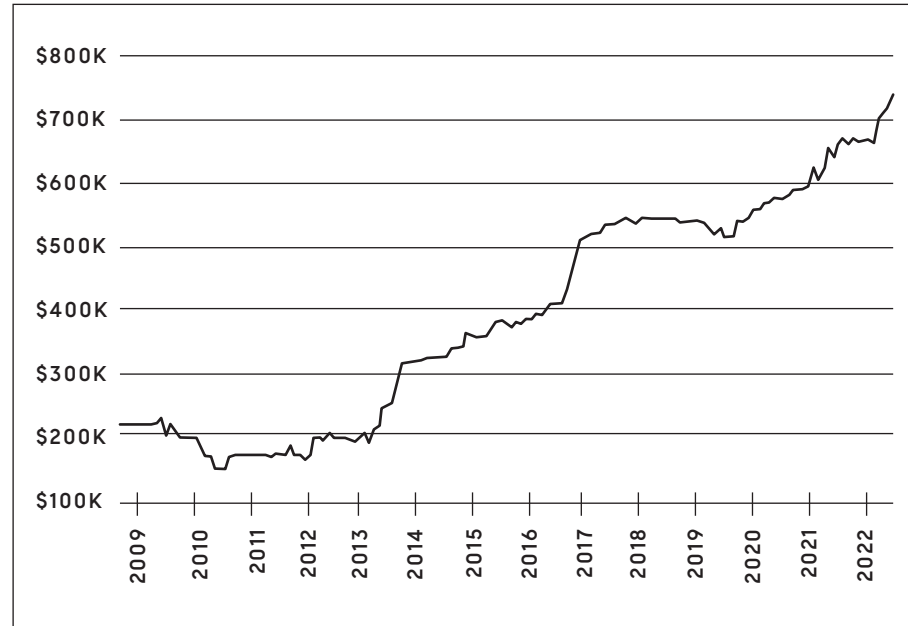
99%



GERMANTOWN
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$456K



WHAT THE MEDIAN SALE
PRICE GOT YOU



1610 7TH AVE N #A

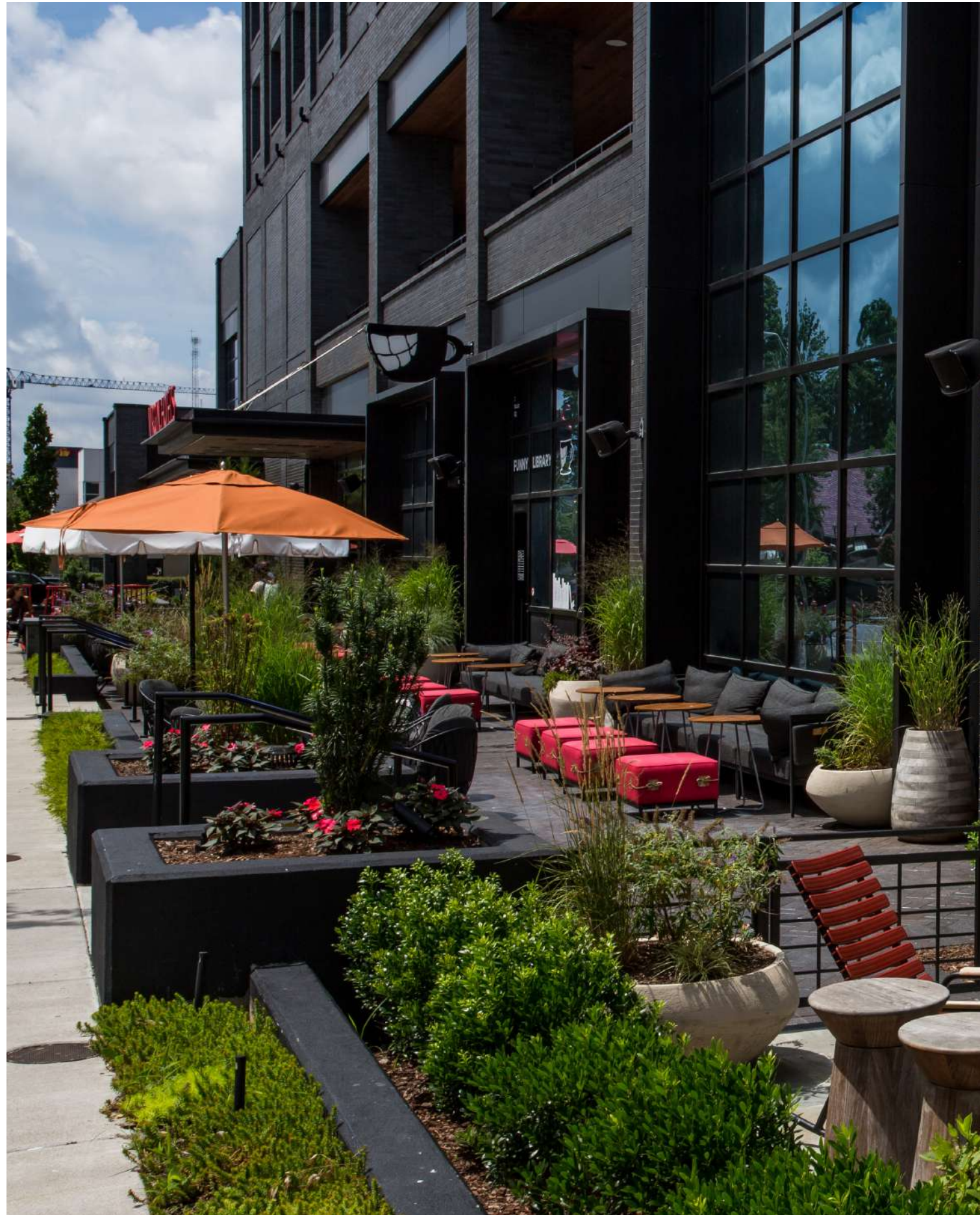
LIST PRICE - \$640,000

SALE PRICE - \$654,000

3 BD | 3 BA | 1 HB | 1,736 SQ FT

DAYS ON MARKET: 5

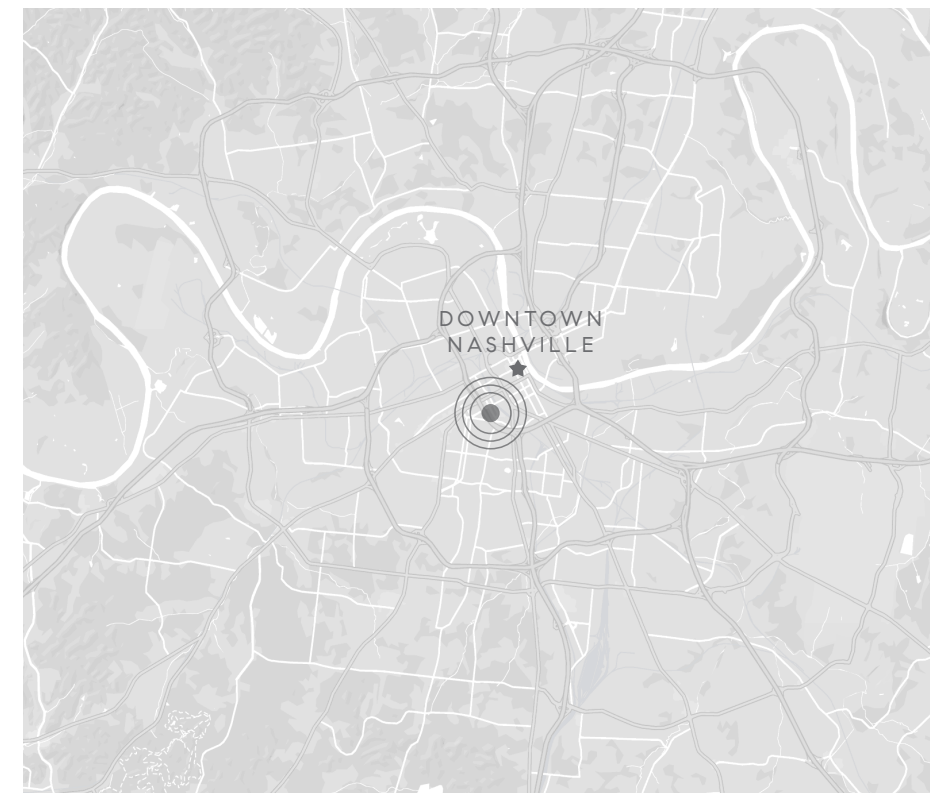
Location, Location, Location! This home is an absolute dream! Walkable to Germantown restaurants, retail, baseball stadium, museums and the Farmer's Market. Literally minutes to Titan's football & downtown. Vaulted pinewood ceiling in the family room with stained concrete floors in the family room & real hardwoods throughout; granite counters; fenced backyard; dedicated parking the rear; also shared parking out front/ NO HOA fees!



MIDTOWN

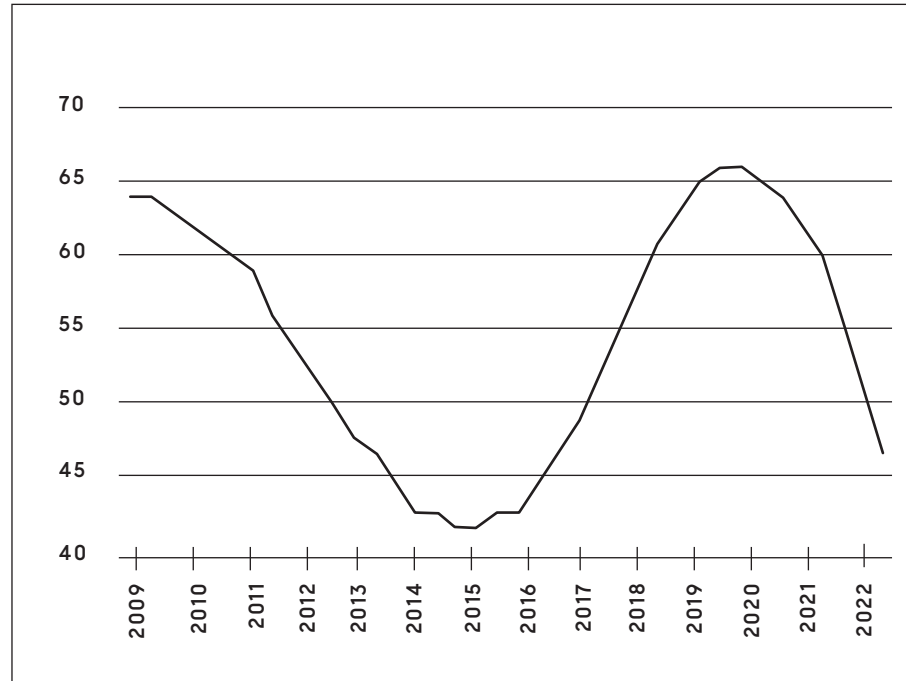
Hip, cool, and modern, Midtown is a perfect medley of top-notch urban living, stylish boutiques, upscale offices, fantastic restaurants, and one-of-a-kind entertainment venues. Once the site of Nashville's bustling railroad, this neighborhood has been developed and modernized to create a trendy, walkable, popular Nashville destination.

Market activity was strong in Midtown throughout 2021. Sold listings were up 21% over 2020 figures, and the median price increased 7% (to \$529K).



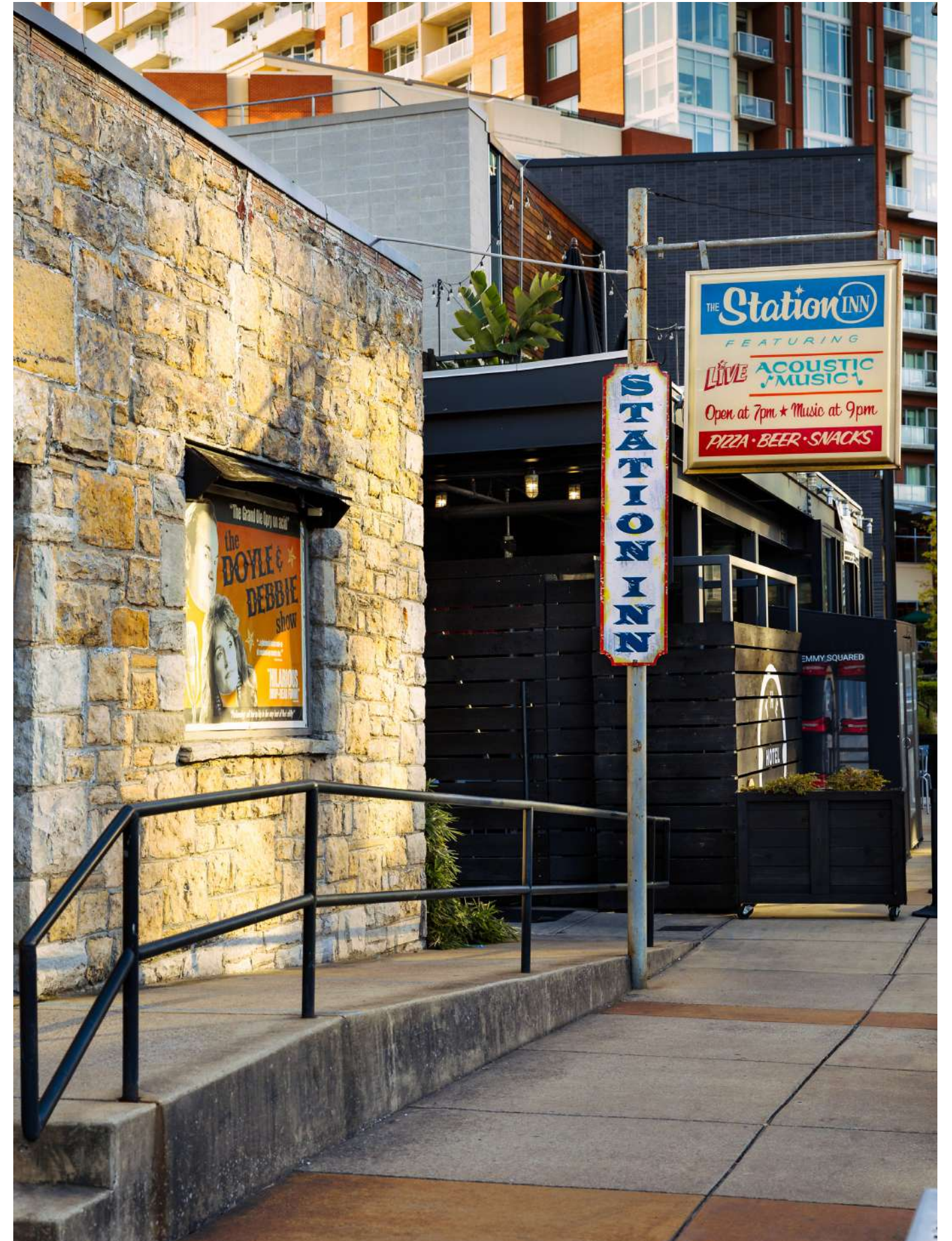
MIDTOWN
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



% OF LIST
PRICE 2021

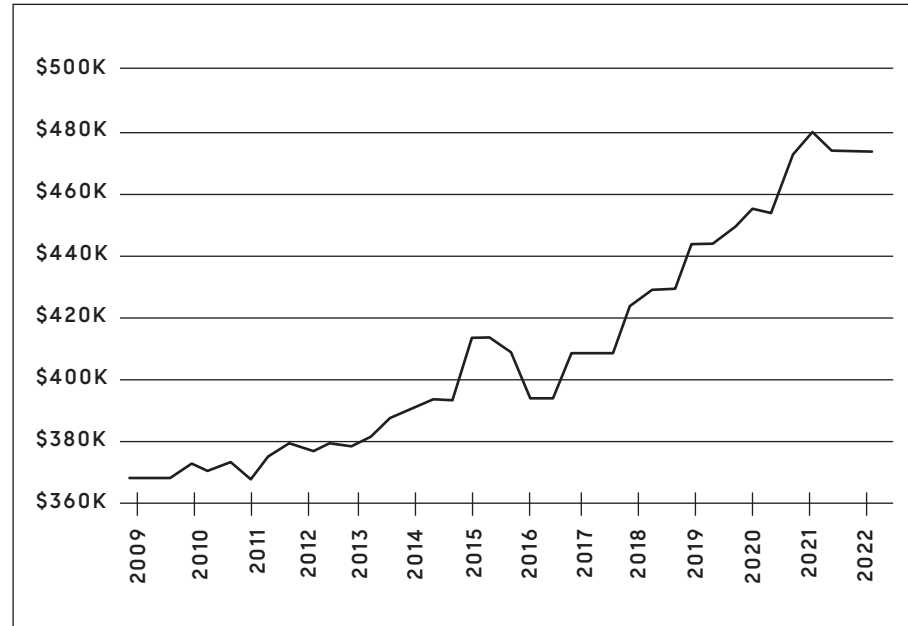
98%



MIDTOWN
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$592K



WHAT THE MEDIAN SALE
PRICE GOT YOU



905 20TH AVE S #905

LIST PRICE - \$535,000

SALE PRICE - \$535,000

1 BD | 1 BA | 1,015 SQ FT

DAYS ON MARKET: 0

Freshly renovated unit w/ sweeping Downtown views! Bright and airy feel w/ high ceilings, loads of natural light, hardwoods, white cabinetry and countertops, gas cooking, and private balcony. Enjoy the luxuries of Midtown's premier full-service highrise that include 24-hour concierge, heated pool, state-of-the-art fitness facility, residents' lounge, private park, dog park, gated parking, and more!

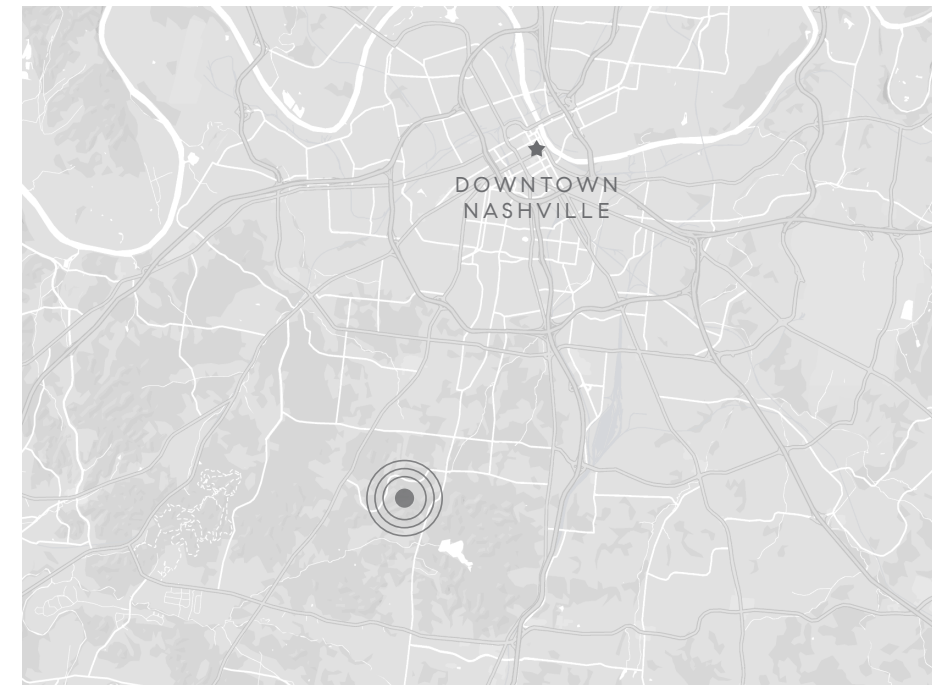


WILLIAMSON COUNTY

Just a short drive outside of Nashville, Williamson County cities, villages, and rural areas offer a unique experience for residents and visitors alike. The county has outstanding public schools, a strong and growing business climate, and the same verve for live music, the arts, and festivals that one will find in Nashville.

Williamson County is adorned with historic homes, estates, sprawling ranches, centennial farmhouses, Tudors, and quiet, cozy neighborhoods dotted with new-builds and townhomes.

As Nashville's popularity surged throughout 2021, buyer and seller interest also increased in Williamson County. WillCo neighborhood listings saw a 19% decrease in average days-on-market, to just 43 days. Meanwhile, the median price increased 22%, now at \$665K.



WILLIAMSON COUNTY
INSIGHTS

6,705

2021 New Listings

-26.80%

% Change from 2020

4,725

2021 Sales

-26.69%

% Change from 2020

\$665K

2021 Median Sale Price

21.81%

% Change from 2020

43

2021 Average Days on Market

-19.47%

% Change from 2020



WILLIAMSON COUNTY NEIGHBORHOODS

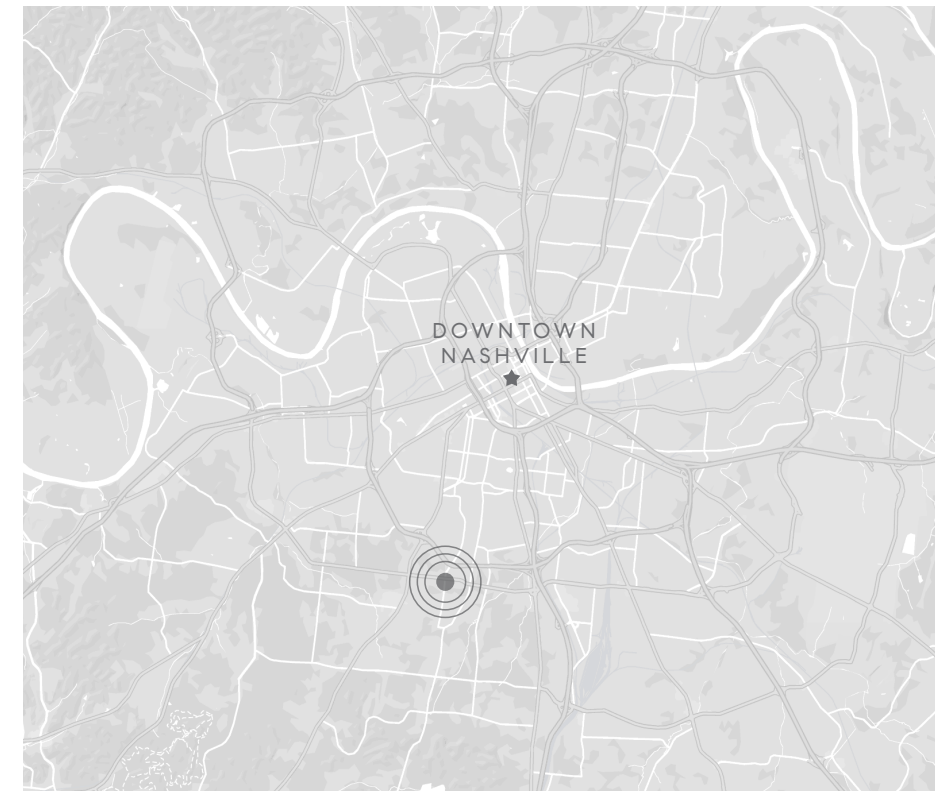




BRENTWOOD

Well-run and peaceful with large residential lots and stunning geography, it's no surprise that Brentwood is one of Tennessee's most coveted residential communities. Home to one of the nation's top 10 libraries for children, a hub for business executives, coveted recreational amenities around every corner, and top-ranking in its high standard of living, new families from across the nation find home in Brentwood.

Brentwood experienced high demand throughout 2021, which led to a 36% increase in median price (\$1.14M). A decrease in new listings also spiked demand, leading to a 7% drop in average days-on-market (now 52 days).



BRENTWOOD
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



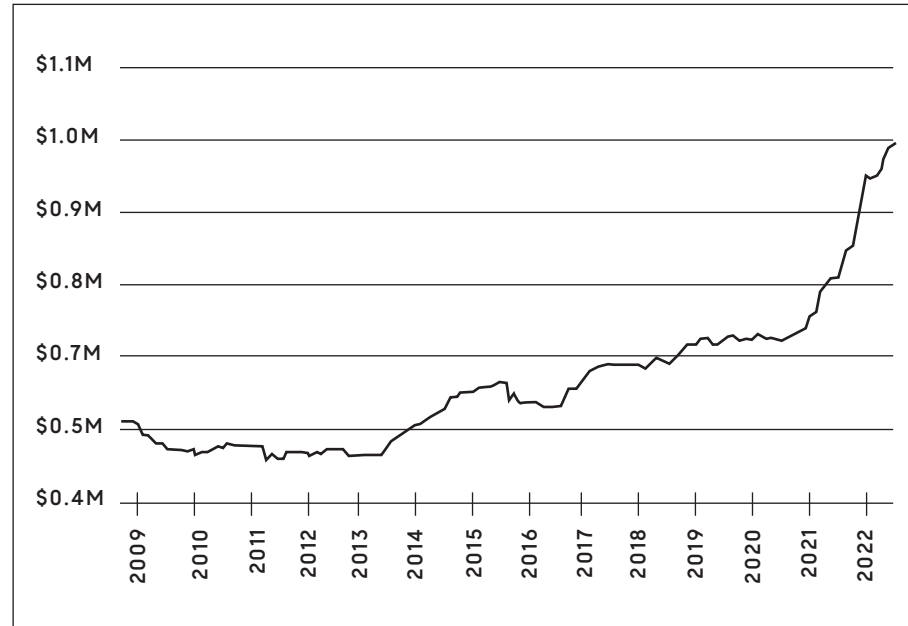
% OF LIST
PRICE 2021
100%



BRENTWOOD
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$1.14M



WHAT THE MEDIAN SALE
PRICE GOT YOU



2145 KEY DR

LIST PRICE - \$1,150,000

SALE PRICE - \$1,150,000

5 BD | 4 BA | 1 HB | 4,000 SQ FT

DAYS ON MARKET: 3

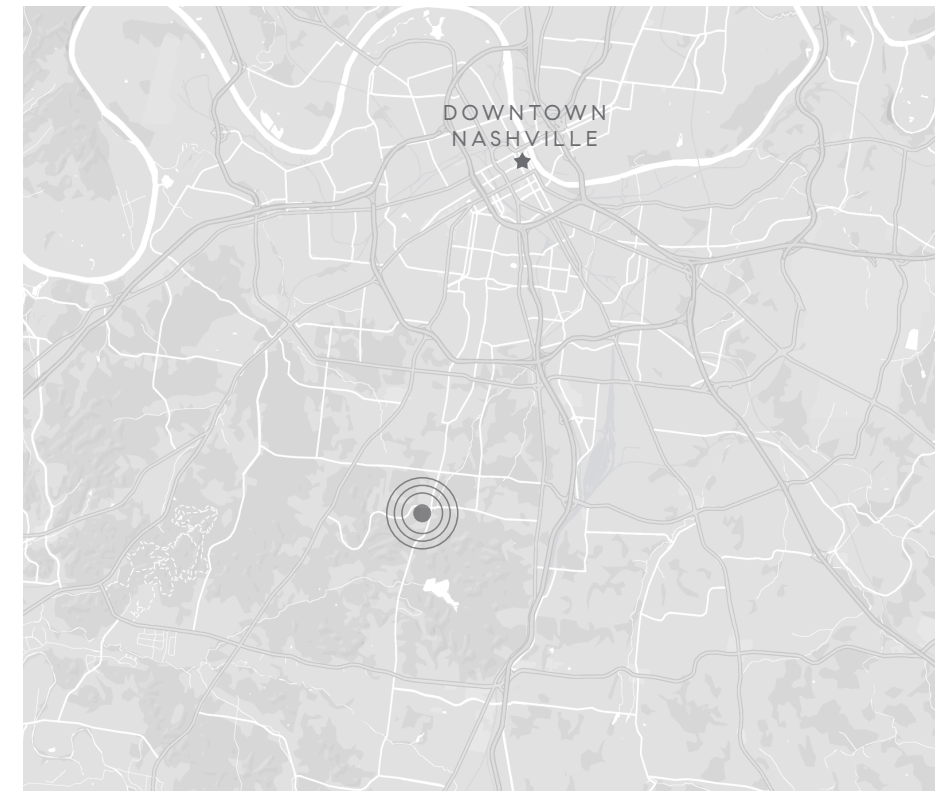
Stunning home on a corner lot, walking distance to Grassland Elem. & Middle. Beautifully renovated, this home offers timeless elegance with a contemporary flair. Primary bedroom down, stunning new primary bath, teen suite w/2 yr. old bath, new hardwoods upstairs, new roof, Pella windows, renovated laundry room, new privacy fence, plantation shutters, beverage refrigerator & more! Perfect location, bordering downtown Franklin, Brentwood, & Green Hills.



FRANKLIN

Founded in 1799, Franklin lives and breathes its history like no other. From its famous “Franklin on Foot” walking tour that shows just how much can be seen from its sidewalks to other icons like Historic Main Street, the 1938 Franklin Theatre, and centennial, even bi-centennial homes and businesses, Franklin melds its unique history into a story of growth, prosperity, and togetherness. A truly charming place to settle, Franklin embodies a commitment to community, a soul-deep feature of the South.

Demand increased in Franklin in 2021, as evidenced by a median price increase of 24% and a decrease of 24% in average days-on-market. The median price is now \$686K and the average days-on-market is down to 41 days.

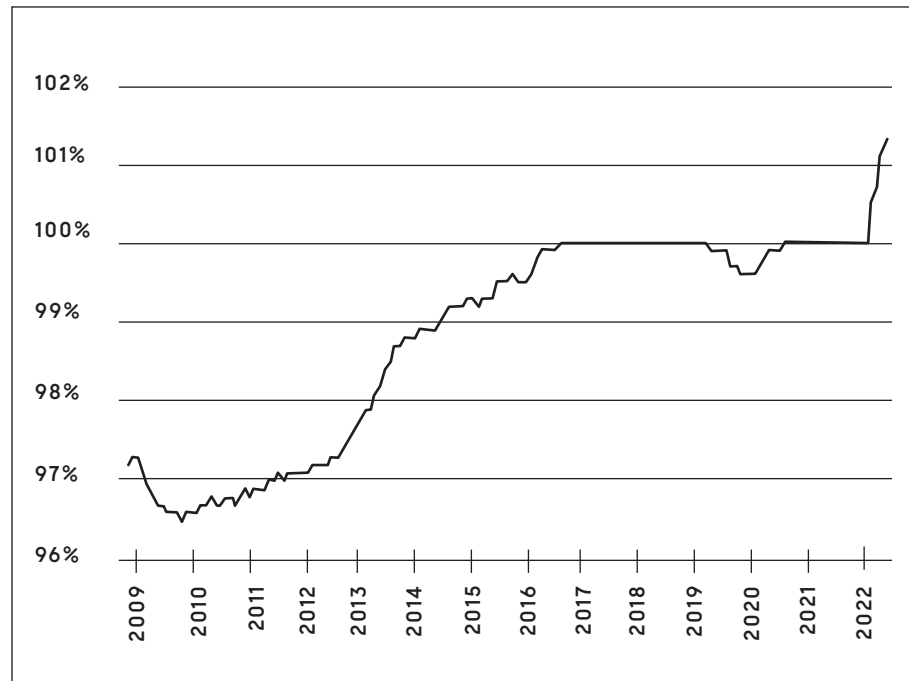


FRANKLIN
DATA: 2009-CURRENT

INVENTORY
OF ACTIVE
HOMES FOR SALE
(2009-2022)



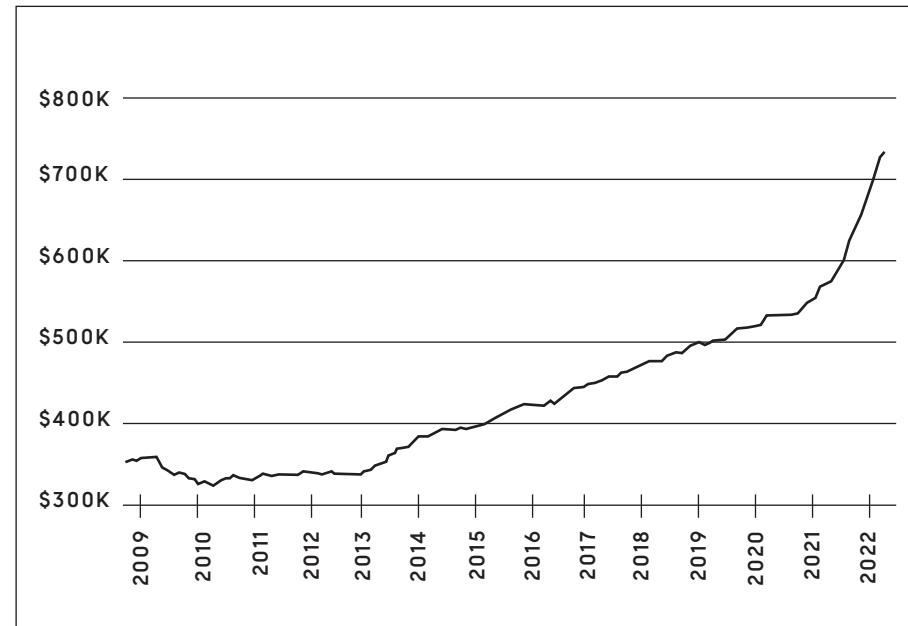
% OF LIST
PRICE 2021
100%



FRANKLIN
DATA: 2009-CURRENT

2021 MEDIAN
SALES PRICE

\$686K



WHAT THE MEDIAN SALE
PRICE GOT YOU



208 PEARL ST

LIST PRICE - \$685,000

SALE PRICE - \$685,000

3 BD | 2 BA | 1 HB | 2,359 SQ FT

DAYS ON MARKET: 0

Darling 3 bedroom townhome, master on main, secret garden, gracious bonus up, secret garden courtyard, covered front porch overlooks desirable Pearl St ~ set in between two storybook bridges.



CHEERS TO NASHVILLE

To sing the praises of Nashville would take quite the song. Where does one even begin?

- A great environment for entrepreneurs & startups, plus new tech, business, and medicine jobs
- An affordable cost of living coupled with decent wages means more time & money for recreation
- Speaking of recreation, such opportunities abound, with more than 120 parks within the city limits
- Top-ranking schools & universities, both public & private
- A 19th place rating on WalletHub for “Best City for Starting a Business”
- A 15th place rating on Business Insider for “Best Place to live in the U.S.”
- A 13th place rating on U.S. News for “Best City for Young Professionals”
- A 1st place rating on U.S. News for “The Best Place to Live in Tennessee”

We could go on! Vibrant and energetic yet down-to-earth and stable, Nashville combines the energy of an up-and-coming modern city with the resiliency of a historic southern family town. Nashville never loses its sense of community and comfort, because it truly is a slice of southern heaven.

Whether you’re coming to Nashville from afar or you’ve called Music City home for years, whether you’re searching for a Nashville home from the comfort of a cozy couch and a computer screen on the other side of the world, or whether you’re already here and you’d like to move a few blocks up the street, we hope this market report has been helpful to you. And we’d love to help you make Nashville your best life chapter yet.

Sincerely,
Compass Real Estate of Greater Nashville



CONTACT US



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COMPASS RE

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Source: MLS Data

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